



## Planning Commission Public Hearing **ADDENDUM**

**TO:** PLANNING COMMISSION / DESIGN REVIEW BOARD

**FROM:** GILBERT OLGIN, PLANNER II *GO*  
(480) 503-6745, GILBERT.OLGIN@GILBERTAZ.GOV

**THROUGH:** CATHERINE LORBEER, AICP, PRINCIPAL PLANNER *ajl*  
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

**MEETING DATE:** MARCH 7, 2018

**SUBJECT:** DR17-1163, COMMERCIAL DEVELOPMENT FOR HHB

**STRATEGIC INITIATIVE:** Economic Development

Attract, retain and grow businesses that serve the local community and regional customer base as a means to increase Gilbert's sales tax revenue.

### **RECOMMENDED MOTION**

Approve the Findings of Fact and approve DR17-1163, Commercial Development for HHB: Site plan, landscaping, grading and drainage, building elevations, colors and materials, and lighting for approximately 4.43 acres, generally located at the northeast corner of Val Vista and Riggs Roads, and zoned Shopping Center (SC).

### **APPLICANT/OWNER**

**Company:** HHB VII, LLC

**Address:** 1425 West Elliot Road, Suite 104  
Gilbert, Arizona 85233

**Phone:** 480-292-1356

**Email:** Marissa@hhbgroup.net

**Company:** Associated Architects, Inc.

**Name:** Brian Johns

**Address:** 6 East Palo Verde, Suite 1  
Gilbert, Arizona 85296

**Phone:** 480-964-8451

**Email:** Brian@associated-architects.com



## **BACKGROUND/DISCUSSION**

### **History**

<b>Date</b>	<b>Description</b>
<i>June 21, 2005</i>	The Town Council adopted Ordinance No.1660 (A04-20) annexing 224.5 acres including the subject site.
<i>June 21, 2005</i>	The Town Council adopted Ordinance No. 1661 (Z04-29) rezoning the subject site from Maricopa County, Rural Residential - 43 to Town of Gilbert Shopping Center (SC).
<i>April 14, 2016</i>	Design Review Board approved case DR16-01, CST Corner Store and Fueling Facility (Valero Convenience Store and Fueling Facility).
<i>February 7, 2018</i>	The Planning Commission reviewed DR17-1163(Commercial Development for HHB) as a Study Session item.

### **Overview**

The subject site is part of a larger 16.64 acre site of commercial land located on the northeast corner of Val Vista Drive and Riggs Road. The proposed project will consist of five (5) new buildings to be constructed in two (2) separate phases. The proposed two buildings adjacent to Val Vista Dr., labeled as Building A and B will be developed within Phase I and the remainder of the buildings will be developed in Phase II (Buildings C, D, and E).

Staff notes this development will share access with a Circle K convenience store and fueling facility located at the far southwest corner of this larger parcel, closest to the intersection Val Vista Drive and Riggs Road.

### **Surrounding Land Use & Zoning Designations:**

	<b>Existing Land Use Classification</b>	<b>Existing Zoning</b>	<b>Existing Use</b>
North	Residential > 2-3.5 DU/Acre	Single Family – 6 (SF-6)	Single Family Residential
South	Maricopa County	Maricopa County	Residential and Agricultural
East	Residential > 2-3.5 DU/Acre	Single Family – 7 (SF-7)	Single Family Residential
West	City of Chandler	City of Chandler	Basha High School
Site	Shopping Center (SC)	Shopping Center (SC)	Vacant land

### **Project Data Table**

<b>Site Development Regulations</b>	<b>Required per LDC Shopping Center (SC)</b>	<b>Proposed</b>
Site Area		Total- 4.43 acres gross Total- 3.47 acres net Phase I- 10,844 sf net



		Phase II- 16,613 sf net
Building Square Footage		Building A- 3,020 sf Outdoor Patio-880 sf Building B- 6,944 sf Building C- 4,813 sf Building D- 5,900 sf Building E- 5,900 sf
Maximum Building Height	35'2	25'
Minimum Building Setbacks		
Side (street)	20'	49'
Side (non-residential)	15'	32'
Rear (non-residential)	15'	30'
Minimum Required Perimeter Landscape Area		
Side (street)	20'	31'
Side (non-residential)	15'	26'
Rear (non-residential)	20'	28'
Landscaping (% of lot area)	15%	26%
Parking	Phase I required - 70 Phase II required- 68 Total required - 138	Phase I provided - 70 Phase II provided- 83 Total provided-153

## **DISCUSSION**

### **Site Plan**

The proposed project will be built in two phases. Phase I will consist of Buildings A and B, which will include parking, lighting, landscaping and all other required site improvements. The only portion of Phase II being implemented with Phase I would be the paved access road to Merlot Street. Phase I site plan includes a coffee shop and retail shop; however, neither use will front any of the adjacent roads.

The site will be accessed from a new driveway extending from the existing 45' wide Circle K entrance driveway, from a new 30' wide driveway north of the site along Merlot Street and from an existing private driveway that runs north and south adjacent to the Circle K building. Overall the proposed project has designed three (3) points of access to this commercial corner with an additional access point planned for future development on Riggs Road. All access points will include cross-access drives to serve other parts of the overall site plan with future development.

On the south side of Phase II, the applicant has included a water fountain and an outdoor amenity area consisting of built-in seating. Staff has recommended a condition that any future water feature must conform to the Municipal Code requirements for water conservation. Additional features for this site include: new asphalt paving for the driveways, parking and a drive-through lane; 3' evergreen continuous landscape hedges; and three (3) trash enclosures. Screen walls and perimeter fencing will use a combination of smooth stucco over CMU and slump block to help add architectural features that were used on the Circle K building. The trash enclosure will use the slump block with a masonry cap on all enclosures walls and metal gates.



**Landscape**

The amount of landscaped area proposed on site is 38,647 sq. ft., or 25.5% of the overall net area, which exceeds the 15% minimum requirement. The majority of the landscaping occurs at the north and west sides of the site. Additionally there is adequate landscaping proposed, which will meet code requirements for both building foundation and site perimeter landscaping. The tree species being proposed include 24" box Chinese Red Push Pistache, Fan-Tex Ash and "Rio Salado" Mesquites. A majority of planting material will be a colorful variety of five (5) gallon and one (1) gallon shrubs, including the "Heavenly Cloud" Sage, "New Gold" Lantana, Red Yucca and Bougainvillea varieties.

**Grading and Drainage**

The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division. The primary retention is located in underground storm drain tanks along the southern portion of the site.

**Elevations, Floor Plan, Colors and Materials**

The proposed retail store and coffee shop feature contemporary architecture that will complement the Circle K building to the south. This design incorporates flat modern rooflines with a parapet coping and utilizes color and material changes to create horizontal and vertical interest around all four sides of the building. The colors are a mix of contemporary tans with earth-toned yellow and materials including slump block wall, CMU covered with smooth stucco, steel awnings and accents of composite wood decking. The stucco will be in the following colors: Dunn Edwards "Desert Suede", "Egyptian Sand Gray" and "Wheat Bread Yellow" as well as "Weathered Brown" and composite wood decking in "Brazilian Red".

**Lighting**

All building lighting, wall-mounted and pole-mounted lights will utilize LED technology and will be oriented to practically eliminate light pollution to adjacent neighbors. All site lighting will be required to comply with Town codes relating to maximum heights, full cut-off shields and a maximum of 0.3 foot-candles measured at the property lines.

**Signage**

Signage for this project is not included in this approval. A Comprehensive Sign Program would require an Administrative Design Review approval prior to permitting.

**Planning Commission Comments from Study Session conducted on February 7, 2018.**

During the Study Session, the following comments were brought forth by the Planning Commission Members:

- Planning Commission requested additional information on the vacant property south of the subject site that belongs to Circle K Corporation.
  - The vacant land, according to the current owner, was planned to be a Carwash structure. During the design review process, the corporation omitted the plan for



the carwash structure and designed this portion for an additional storm water retention basin and reduced their underground capacity during the building review.

- Planning Commission questioned the architecture of this proposed project and how it correlates with the adjacent Circle K convenience store.
  - The proposed site and building design is a standalone design with a variety of colors and materials that will provide inspiration to the design and the layout of the adjacent future development. The proposed materials and massing was modeled after Circle K design.
- Planning Commission suggested creating some additional movement with the north elevations.
  - The parapet on the north elevation of the proposed coffee shop was revised to provide more movement along this elevation. Also, all parapets for each building were revised to provide additional movement by raising the elevation height at entry areas.
- Planning Commission had some concerns with the trash enclosures nearest the coffee shop.
  - Phase II will consist of a trash enclosure with a section for a grease collector.
- Planning Commission asked for some clarification on the Traffic Impact Analysis (TIA) for the subject site.
  - The TIA does not anticipate a large amount of traffic to be generated at the subject site. In addition, the queue from the drive-through window was designed three (3) times larger than what is required by LDC.
- Planning Commission had some concerns with the coffee shop drive-through.
  - The current Land Development Code (LDC) requires three (3) vehicles per drive-through window for beverage services and the queuing lane can accommodate ten (10) vehicles.

### **PUBLIC NOTIFICATION AND INPUT**

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 5.205.

Staff has received no comment from the public.

### **STAFF RECOMMENDATION**

Approve the Findings of Fact and approve DR17-1163, Commercial Development for HHB: Site plan, landscaping, grading and drainage, building elevations, colors and materials, and lighting for approximately 4.43 acres, generally located at the northeast corner of Val Vista and Riggs Roads, and zoned Shopping Center (SC), subject to conditions:

1. Construction of the project shall conform to the exhibits approved by the Planning Commission/ Design Review Board at the March 7, 2018 public hearing.
2. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.



3. Signage is not included in this approval. Administrative Design Review approval is required prior to submitting for sign permits.
4. Any future water feature (i.e. fountains) must conform to the water conservation requirements in Municipal Code Chapter 66, Article VIII, Section 66-355, Limitations on new water features.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'Gilbert Olgin', with a stylized flourish at the end.

Gilbert Olgin  
Planner II

**Attachments and Enclosures:**

- 1) Fact of Finding
- 2) Notice of Public Hearing/Vicinity Map
- 3) Aerial Photo
- 4) Site and Phasing Plans
- 5) Landscape Plan
- 6) Elevations
- 7) Colors and Materials
- 8) Photometric Plan
- 9) Grading and Drainage Plan



**FINDINGS OF FACT  
DR17-1163, New Development for HHB**

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.



## *Notice of Public Hearing*

**PLANNING COMMISSION DATE:**

**Wednesday, March 7, 2018\* TIME: 6:00 PM**

**LOCATION: Gilbert Municipal Center  
Council Chambers  
50 E. Civic Center Drive  
Gilbert, Arizona 85296**

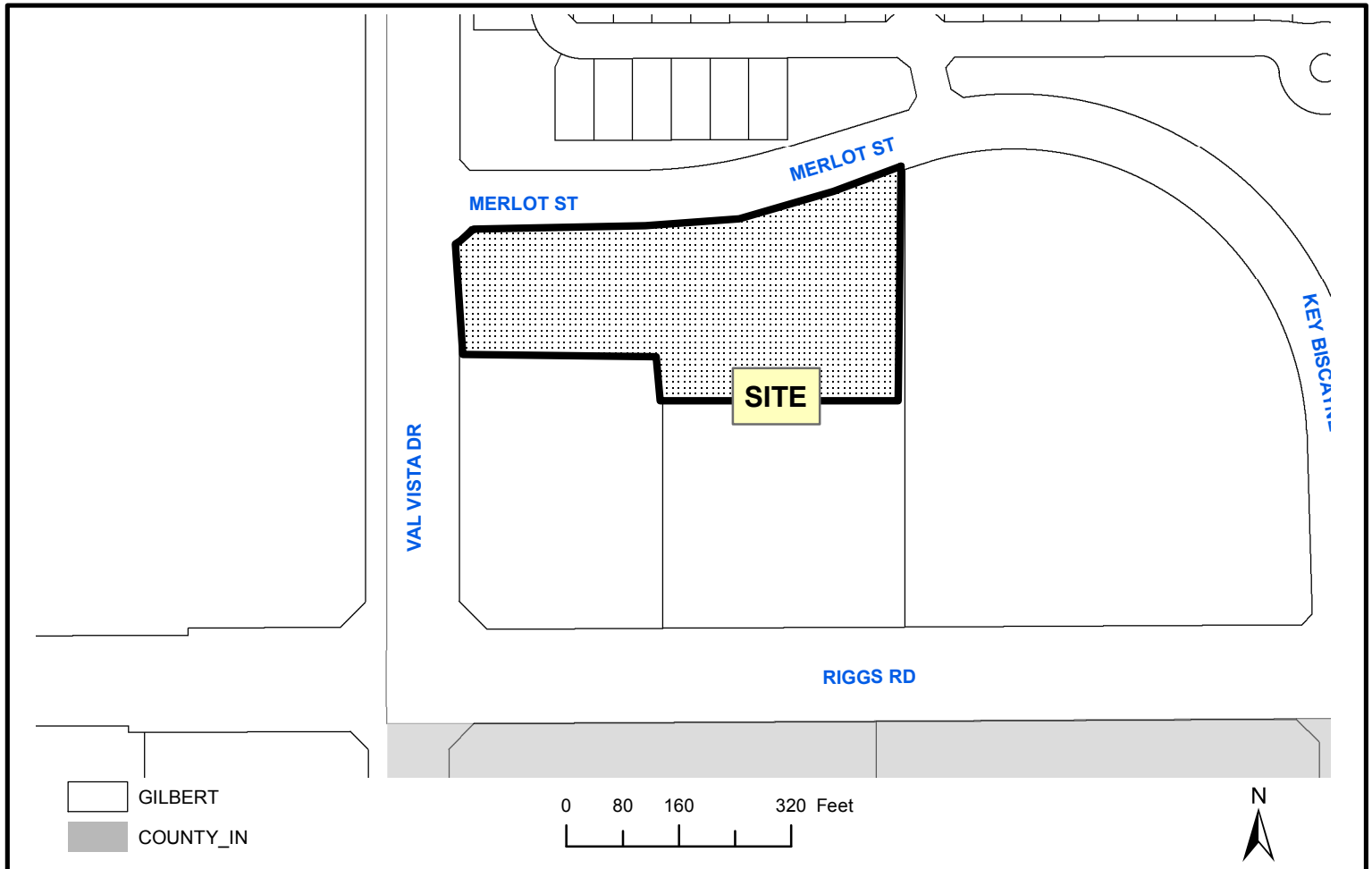
**\* Call Planning Department to verify date and time:  
(480) 503-6745**

\* The application is available for public review at the Town of Gilbert Development Services division Monday - Thursday 7 a.m. - 6 p.m. Staff reports are available the Monday prior to the meeting at <https://www.gilbertaz.gov/departments/development-services/planning-development/planning-commission>

### **REQUESTED ACTION:**

DR17-1163, Commercial Development for HHB: Site plan, landscaping, grading and drainage, building elevations, colors and materials, and lighting for approximately 4.43 acres, generally located at the northeast corner of Val Vista and Riggs Roads, and zoned Shopping Center (SC) Zoning District.

### **SITE LOCATION:**



**APPLICANT: Associated Architects, Inc**  
**CONTACT: Brian Johns**  
**ADDRESS: 6 E. Palo Verde Ste. 1**  
**Gilbert, AZ 85296**

**TELEPHONE: (480) 964-8451**  
**E-MAIL: [brian@associated-architects.com](mailto:brian@associated-architects.com)**





# Map





REVISED

EXISTING EVANS RANCH  
DEVELOPMENT  
SF-6 ZONING  
APN: 304-80-204

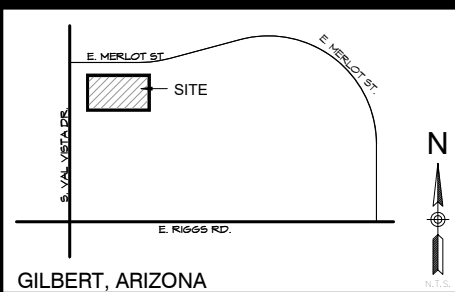
A NEW DEVELOPMENT  
FOR  
**HHB GROUP**  
N.E. CORNER VAL VISTA & RIGGS RD  
GILBERT, ARIZONA

BLDG. DATA

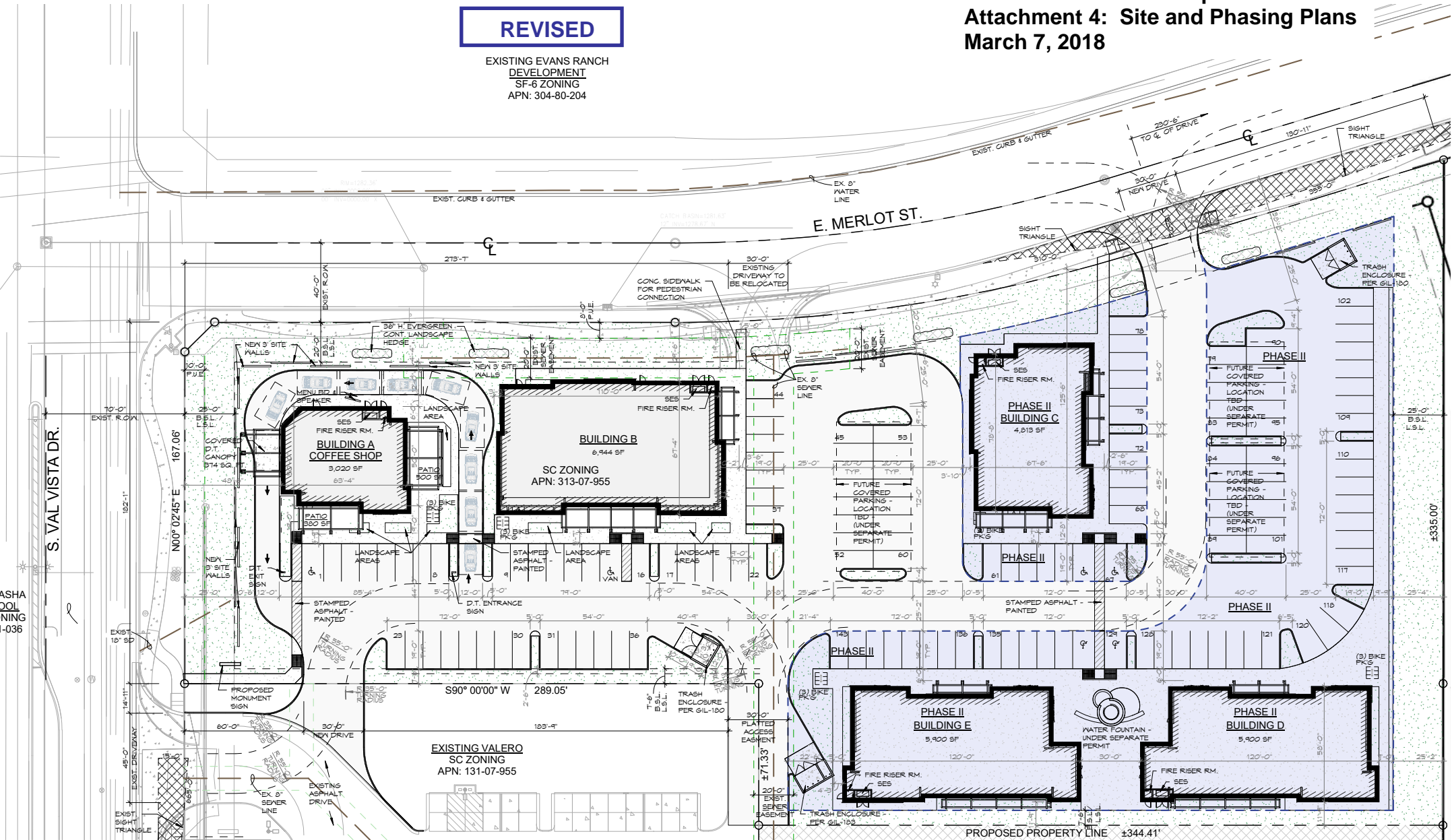
OWNER:	HHB VII, LLC.
BUILDING ADDRESS:	N.E. CORNER VAL VISTA DR. & RIGGS RD. GILBERT, AZ
TELEPHONE:	480-699-0195
BUILDING CODES:	2012 I.B.C. 2012 I.M.C. 2012 I.P.C. 2011 N.E.C. 2012 I.E.C.C. 2012 I.F.C. 2012 I.F.G.C. 2010 ADAAG
OCCUPANCY:	A-2/B (NON-SEPARATED USE)
CONST. TYPE:	V-B, A.F.E.S.
ZONING:	SC (SHOPPING CENTER)
PARCEL:	313-07-955
USE:	RETAIL OFFICES / RESTAURANT
GROSS SITE AREA:	±192,982 SQ. FT. (4.43 AC.)
NET SITE AREA:	±151,370 SQ. FT. (3.47 AC.)
BUILDING AREA:	PHASE I: BUILDING A: ——— 3,020 SQ. FT. OUTDOOR PATIO: ——— 880 SQ. FT. BUILDING B: ——— 6,944 SQ. FT. PHASE II: BUILDING C: ——— 4,813 SQ. FT. BUILDING D: ——— 5,900 SQ. FT. BUILDING E: ——— 5,900 SQ. FT.
LANDSCAPE AREA:	38,647 SQ. FT. (0.36 AC.) = 25.5% COVERAGE

ALLOWABLE AREA:	6,000 SQ. FT. X 3 = 18,000 SQ. FT. (BASE SQUARE FOOTAGE X SPRINKLER SYSTEM INCREASE)																								
PARKING CALCULATIONS:	<table><tr><td>PHASE I</td><td>BUILDING A (COFFEE SHOP) ——— 3,020 SF / 75 = 40</td></tr><tr><td></td><td>OUTDOOR PATIO ——— 880 SF / 400 = 2</td></tr><tr><td></td><td>BUILDING B (RETAIL) ——— 6,944 SF / 250 = 28</td></tr><tr><td></td><td>TOTAL = 70 STALLS</td></tr><tr><td></td><td>TOTAL REQUIRED: 70 STALLS</td></tr><tr><td></td><td>TOTAL PROVIDED: 70 STALLS, 2 ADA ACCESSIBLE STALLS</td></tr><tr><td>PHASE II</td><td>BUILDING C (RETAIL) ——— 4,813 SF / 250 = 20</td></tr><tr><td></td><td>BUILDING D (RETAIL) ——— 5,900 SF / 250 = 24</td></tr><tr><td></td><td>BUILDING E (RETAIL) ——— 5,900 SF / 250 = 24</td></tr><tr><td></td><td>TOTAL = 68 STALLS</td></tr><tr><td></td><td>TOTAL REQUIRED: 68 STALLS</td></tr><tr><td></td><td>TOTAL PROVIDED: 83 STALLS, 4 ADA ACCESSIBLE STALLS</td></tr></table>	PHASE I	BUILDING A (COFFEE SHOP) ——— 3,020 SF / 75 = 40		OUTDOOR PATIO ——— 880 SF / 400 = 2		BUILDING B (RETAIL) ——— 6,944 SF / 250 = 28		TOTAL = 70 STALLS		TOTAL REQUIRED: 70 STALLS		TOTAL PROVIDED: 70 STALLS, 2 ADA ACCESSIBLE STALLS	PHASE II	BUILDING C (RETAIL) ——— 4,813 SF / 250 = 20		BUILDING D (RETAIL) ——— 5,900 SF / 250 = 24		BUILDING E (RETAIL) ——— 5,900 SF / 250 = 24		TOTAL = 68 STALLS		TOTAL REQUIRED: 68 STALLS		TOTAL PROVIDED: 83 STALLS, 4 ADA ACCESSIBLE STALLS
PHASE I	BUILDING A (COFFEE SHOP) ——— 3,020 SF / 75 = 40																								
	OUTDOOR PATIO ——— 880 SF / 400 = 2																								
	BUILDING B (RETAIL) ——— 6,944 SF / 250 = 28																								
	TOTAL = 70 STALLS																								
	TOTAL REQUIRED: 70 STALLS																								
	TOTAL PROVIDED: 70 STALLS, 2 ADA ACCESSIBLE STALLS																								
PHASE II	BUILDING C (RETAIL) ——— 4,813 SF / 250 = 20																								
	BUILDING D (RETAIL) ——— 5,900 SF / 250 = 24																								
	BUILDING E (RETAIL) ——— 5,900 SF / 250 = 24																								
	TOTAL = 68 STALLS																								
	TOTAL REQUIRED: 68 STALLS																								
	TOTAL PROVIDED: 83 STALLS, 4 ADA ACCESSIBLE STALLS																								

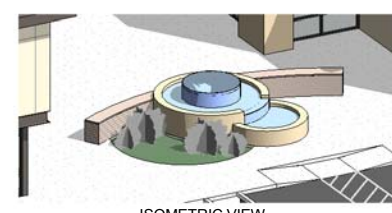
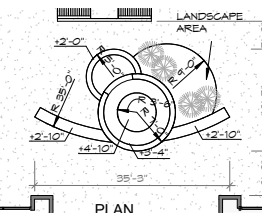
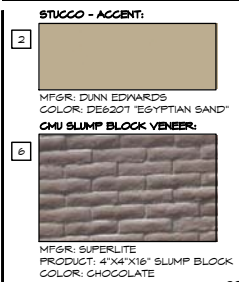
VICINITY MAP



EXISTING BASHA  
HIGH SCHOOL  
SCHOOL ZONING  
APN: 304-81-036



COLOR LEGEND



WATER FOUNTAIN  
(UNDER SEPARATE PERMIT)

PROPOSED SITE PLAN



SCOPE OF WORK

THE PROJECT IS LOCATED ON THE NORTH EAST CORNER OF S. VAL VISTA DR. AND E. RIGGS RD. THE 3.47 ACRE PROPOSED DEVELOPMENT IS JUST NORTH OF THE EXISTING VALERO GAS STATION, AND IS PART OF AN EXISTING 5.41 ACRES PARCEL. THE REMAINING 2.5 ACRES OF THE PARCEL IS CURRENTLY IN NEGOTIATIONS TO BE SOLD TO ANOTHER PARTY. BASHA HIGH SCHOOL IS DIRECTLY ACROSS VAL VISTA RD. TO THE WEST. THE EXISTING REAGAN ACADEMY CHARTER SCHOOL IS DIRECTLY TO THE EAST, AND THE EXISTING EVANS RANCH DEVELOPMENT IS ACROSS MERLOT ST. TO THE NORTH.

THIS PROPOSED PROJECT WILL CONSIST OF THE DEVELOPMENT OF FIVE NEW BUILDINGS THAT WILL BE CONSTRUCTED IN TWO SEPARATE PHASES. THE TWO BUILDINGS ADJACENT TO VAL VISTA DR. WILL BE DEVELOPED WITHIN PHASE I; BUILDING 'A' WILL BE 3,020 SQ. FT. AND WILL BE BUILT OUT FOR A COFFEE SHOP WITH OUTDOOR COVERED PATIOS AND A COVERED DRIVE-THROUGH KIOSK, AND BUILDING 'B' WILL BE A 6,900 SQ. FT. GRAY SHELL BUILDING INTENDED FOR RETAIL SUITES.

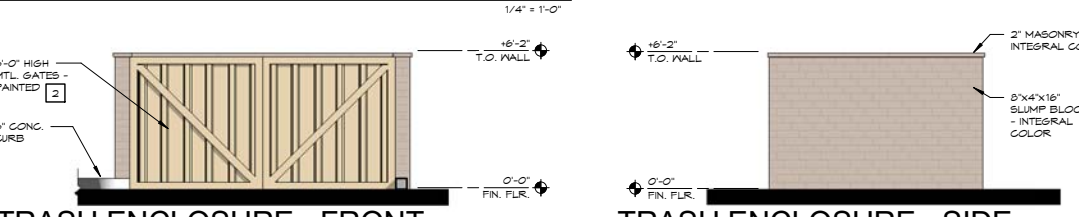
PHASE II OF THE PROJECT WILL CONSIST OF THE CONSTRUCTION OF BUILDINGS 'C', 'D', AND 'E'. THESE THREE BUILDINGS WILL ALSO BE GRAY SHELL STRUCTURES INTENDED FOR RETAIL USES.

THE SITE WILL BE ACCESSED FROM A NEW DRIVEWAY EXTENDING FROM THE EXISTING 45'-0" WIDE VALERO ENTRANCE DRIVEWAY, FROM A NEW 30'-0" WIDE DRIVEWAY NORTH OF THE SITE ALONG MERLOT ST., AND FROM AN EXISTING PRIVATE DRIVEWAY THAT RUNS NORTH AND SOUTH ADJACENT TO THE VALERO BUILDING.

ADDITIONAL COMPONENTS WITHIN THIS DEVELOPMENT INCLUDE: NEW ASPHALT PAVING FOR THE DRIVEWAYS, PARKING AND DRIVE THROUGH LANE, NEW CONCRETE CURBS, H/V RAMP FOR ACCESSIBILITY TO THE BUILDING, 3'-0" HIGH SCREEN WALLS, 3'-0" HIGH EVERGREEN CONTINUOUS LANDSCAPE HEDGES, AND NEW DUMPSTER ENCLOSURES. NEW DRIVE-THROUGH DIRECTIONAL SIGNAGE, AND A NEW MONUMENT SIGN WILL BE PROPOSED AND PERMITTED UNDER A SEPARATE PERMIT.

IN ADDITION, THERE WILL BE LUSH LANDSCAPE PLANTING AND TREES THROUGHOUT THE SITE, AND WITH A MIXTURE OF SURFACE RETENTION AND UNDERGROUND RETENTION. ALL EXISTING UTILITY AND SEWER EASEMENTS ARE TO REMAIN.

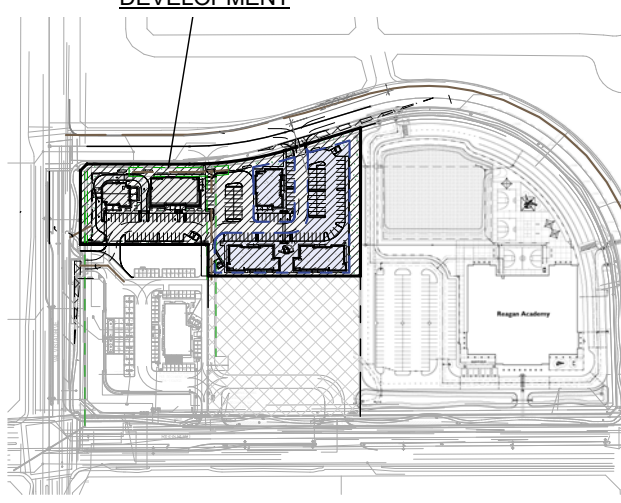
SITE WALL ELEVATION



TRASH ENCLOSURE - FRONT

TRASH ENCLOSURE - SIDE

KEY SITE PLAN



A SITE DEVELOPMENT

FOR

**HHB GROUP**

N.E. CORNER VAL VISTA & RIGGS RD GILBERT, AZ

CONSTRUCTION DOCUMENTS

**associatedarchitects, inc.**

architecture · construction management · planning

p 480-964-8451 www.associated-architects.com

6 East Palo Verde Street, Suite 1 · Gilbert · Arizona · 85296

PROPOSED SITE PLAN



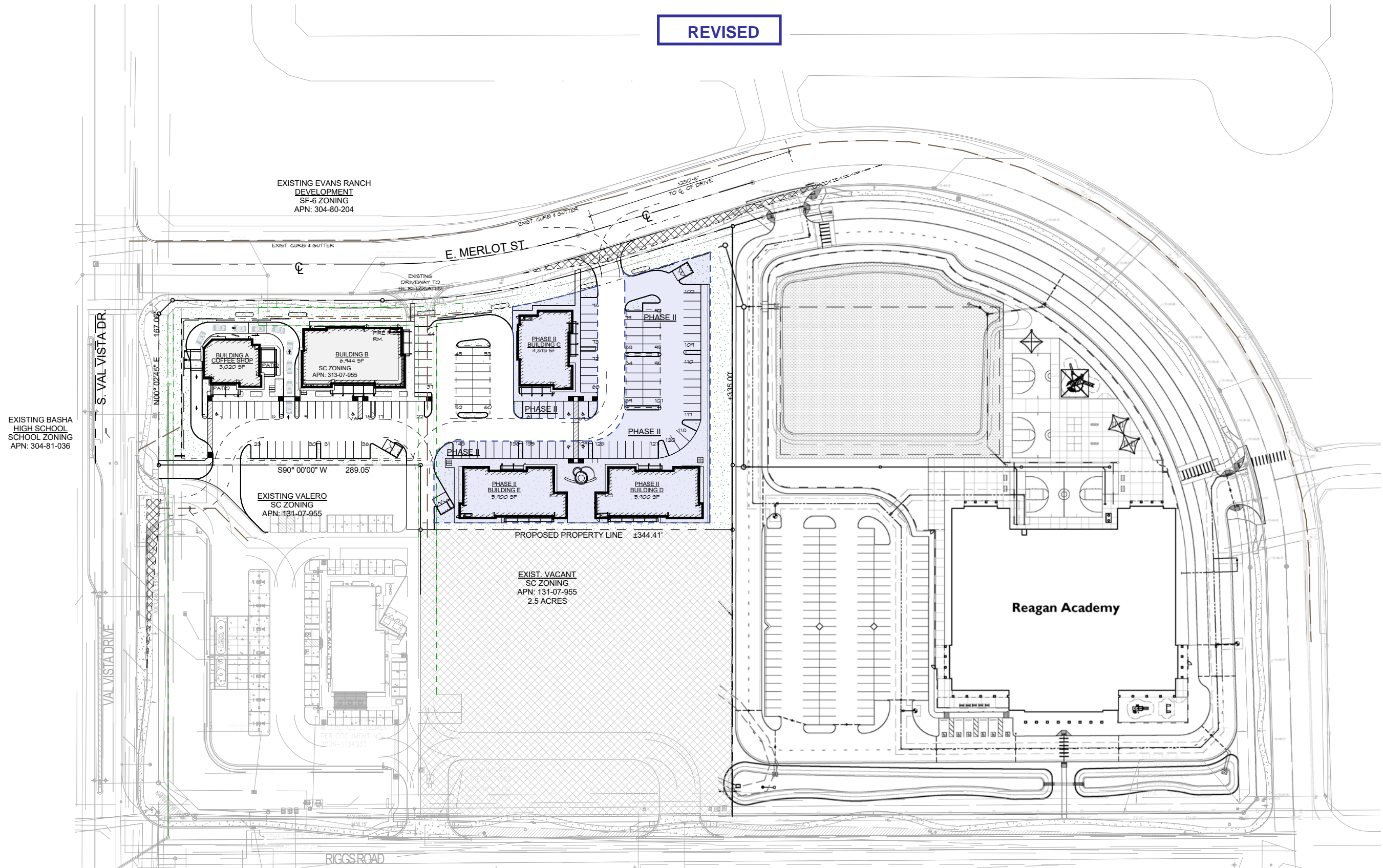
SHEET 1

A-1

OF



REVISED



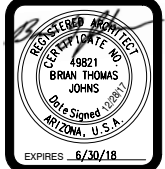
EXISTING / OVERALL SITE PLAN  
FOR REFERENCE

A SITE DEVELOPMENT  
FOR  
**HHB GROUP**  
N.E. CORNER VAL VISTA & RIGGS RD GILBERT, AZ  
CONSTRUCTION DOCUMENTS

**associatedarchitects, inc.**  
architecture · construction management · planning  
p 480-964-8451 www.associated-architects.com  
6 East Palo Verde Street, Suite 1 · Gilbert · Arizona · 85296



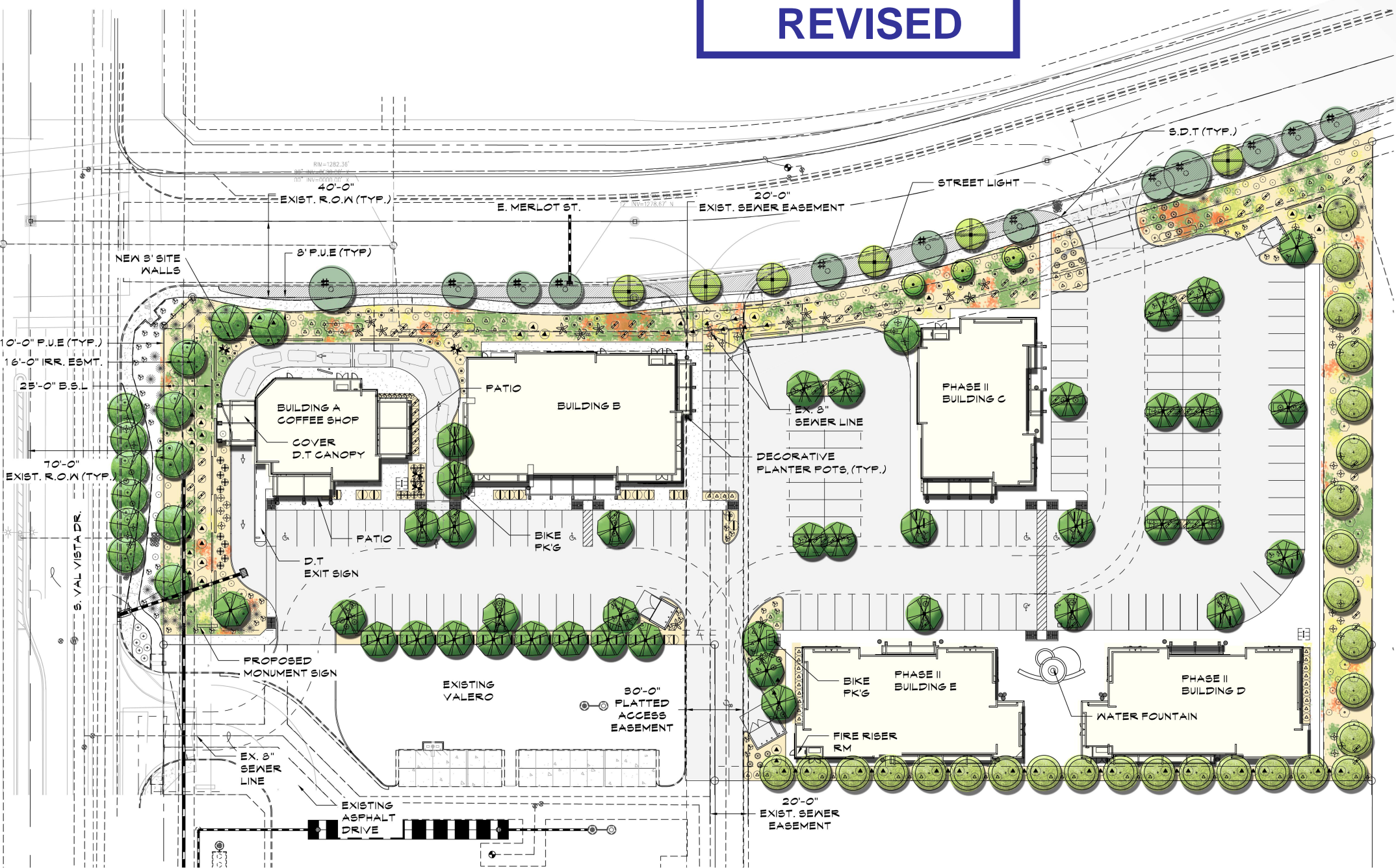
DATE	REVISION	BY	DATE
01	BTJ	11/20	12/25/17
02	BTJ	11/20	12/25/17
03	BTJ	11/20	12/25/17
04	BTJ	11/20	12/25/17
05	BTJ	11/20	12/25/17
06	BTJ	11/20	12/25/17
07	BTJ	11/20	12/25/17
08	BTJ	11/20	12/25/17
09	BTJ	11/20	12/25/17
10	BTJ	11/20	12/25/17
11	BTJ	11/20	12/25/17
12	BTJ	11/20	12/25/17
13	BTJ	11/20	12/25/17
14	BTJ	11/20	12/25/17
15	BTJ	11/20	12/25/17
16	BTJ	11/20	12/25/17
17	BTJ	11/20	12/25/17
18	BTJ	11/20	12/25/17
19	BTJ	11/20	12/25/17
20	BTJ	11/20	12/25/17



SHEET  
**A-2**  
OF



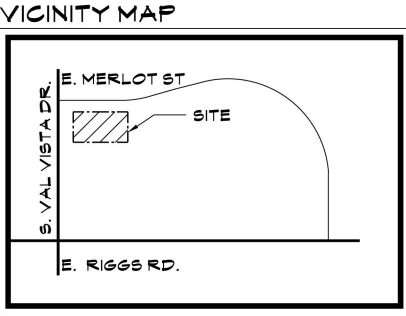
REVISED



PLANT LEGEND	
SYMBOL   BOTANICAL NAME - COMMON NAME	
TREES (HEIGHT, WIDTH & CALIPER PER A.N.A.)	
	PROSOPIS HYBRID 'RIO SALADO'
	CAESALPINIA CACALACO 'SMOOTHIE' THORNLESS CASCALOTE
	ACACIA SALLICINA WILLOW ACACIA
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	FRAXINUS SP. 'FAN TEX' FAN TEX ASH
SHRUBS	
	BOUGAINVILLEA HYBRID - BUSH BOUG. 'FLAME'
	EREMOPHILA GLABRA SSP. CARNOSEA 'WINTER BLAZE'
	EREMOPHILA HYGROPHANA - BLUE BELLS
	LEUCOPHYLLUM FRUTESCENS HYBRID 'HEAVENLY CLOUD SAGE'
	RUELLIA PENINSULARIS - BAJA RUELLIA
	TECOMA STANS HYBRID - 'SPARKLETTE'
	MYRTUS COMMUNIS - MYRTLE
ACCENTS	
	AGAVE WEBERI - WEBER'S AGAVE
	BOUTELOUA GRACILIS - BLONDE AMBITION GRASS
	DASYLIRION QUADRANGULATUM - GREEN SPOON
	MUHLENBERGIA CAPILLARIS 'REGAL MIST'
	CHAMAEROPS HUMILIS - MEDITERRANEAN FAN PALM
GROUND COVERS	
	GAZANIA RIGENS - TRAILING GAZANIA
	ACACIA REDOLENS - TRAILING ACACIA
	RUELLIA BRITTONIANA 'KATIE' - KATIE RUELLIA
SALVAGE MATERIAL	
	SALVAGED TREE
	SALVAGED SHRUBS - SHRUBS TO REMAIN
	DECOMPOSED GRANITE EXPRESS BROWN

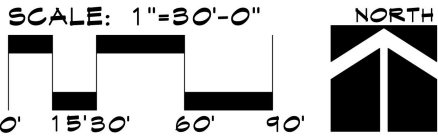
OWNER  
HHB GROUP  
N.E. CORNER VAL VISTA DR  
& RIGGS RD  
(480)-699-0195

LANDSCAPE ARCHITECT  
THE MCGOUGH GROUP  
11110 N. TATUM BLVD. STE. 100  
PHOENIX, AZ 85028  
(602)997-9093  
CONTACT: CHRISTINE SEIME  
cseime@mg-az.com



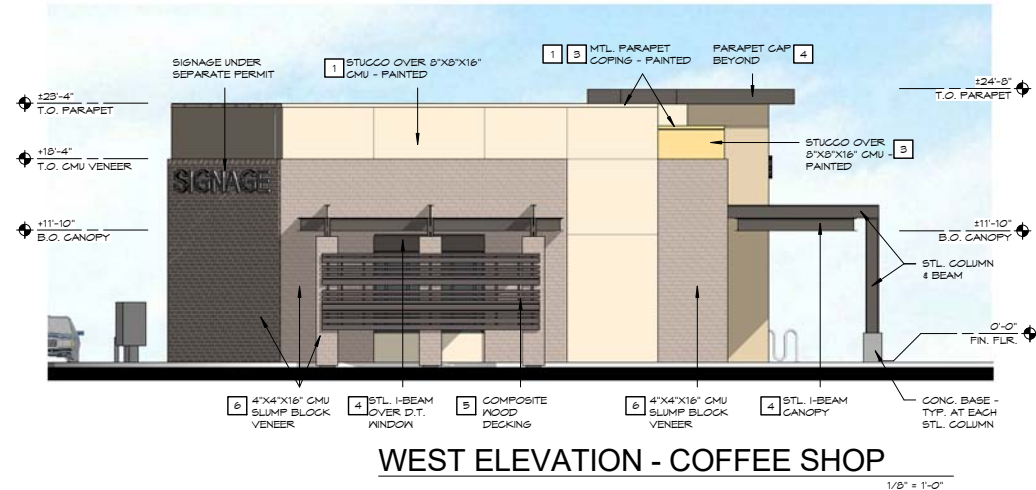
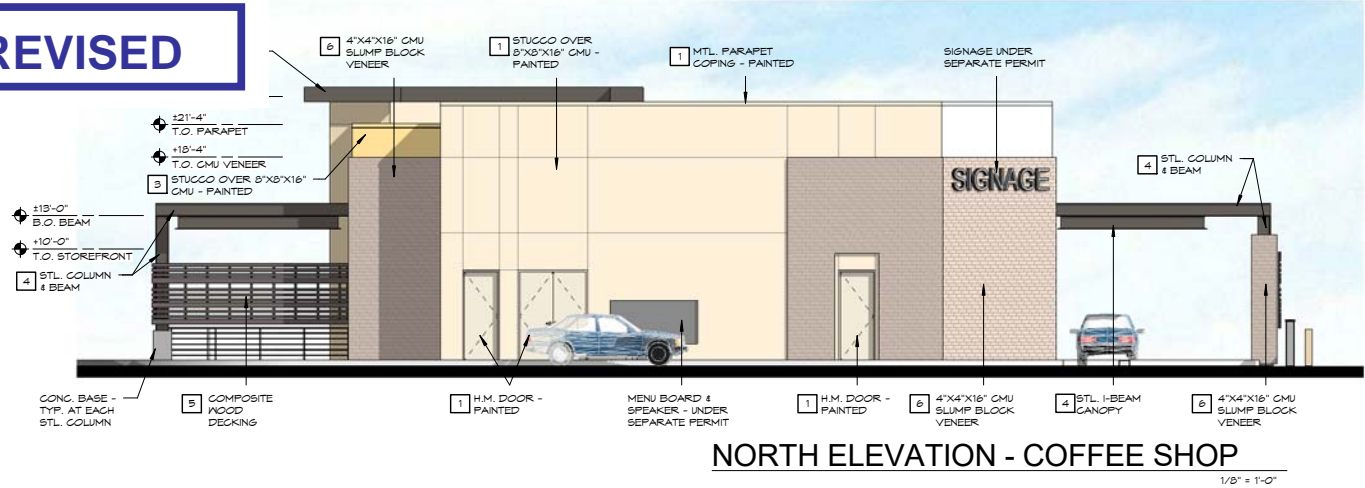
HHB GROUP  
CONCEPTUAL LANDSCAPE PLAN

N.E. CORNER VAL VISTA DR. & RIGGS RD. GILBERT, AZ  
FEBRUARY 16, 2018



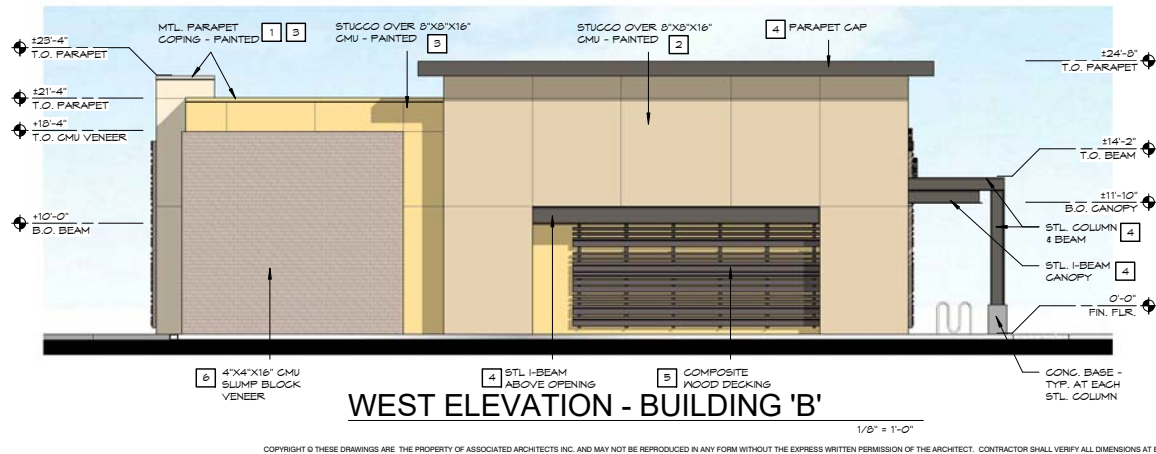
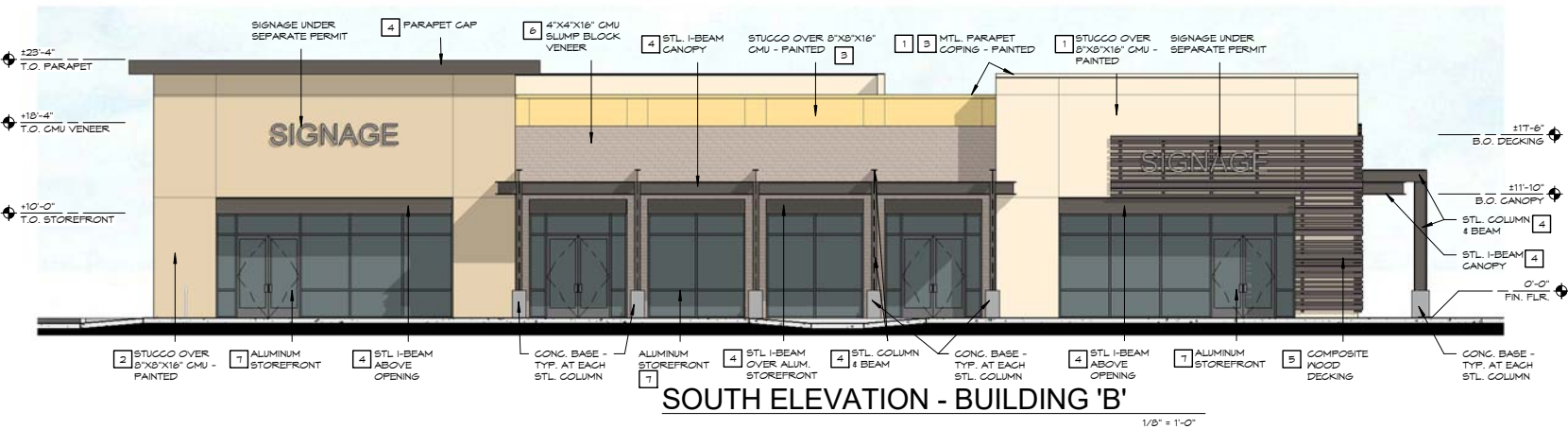


REVISED



COLOR LEGEND

- 1 STUCCO - MAIN BODY:  
MFG: DUNN EDWARDS  
COLOR: DE6206 'DESERT SUEDE'
- 2 STUCCO - ACCENT:  
MFG: DUNN EDWARDS  
COLOR: DE6201 'EGYPTIAN SAND'
- 3 STUCCO - ACCENT:  
MFG: DUNN EDWARDS  
COLOR: DE360 'WHEAT BREAD'
- 4 METAL COLUMNS/BEAMS:  
MFG: DUNN EDWARDS  
COLOR: DEC756 'WEATHERED BROWN'
- 5 COMPOSITE WOOD DECKING:  
MFG: NEW TECH WOOD  
PRODUCT: SOLID BOARD US01  
COLOR: BRAZILIAN IPE
- 6 CMU SLUMP BLOCK VENEER:  
MFG: SUPERLITE  
PRODUCT: 4"x4"x16" SLUMP BLOCK  
COLOR: CHOCOLATE
- 7 ALUMINUM STOREFRONT:  
MFG: KAMNEER  
PRODUCT: ALUMINUM STOREFRONT  
W/CLEAR GLAZING  
COLOR: DARK BRONZE NO. 40



A SITE DEVELOPMENT  
FOR  
HHB GROUP

associatedarchitects, inc.  
architecture · construction management · planning  
p 480-964-8451  
6 East Palo Verde Street, Suite 1 · Gilbert · Arizona · 85296  
www.associated-architects.com



DATE	DESCRIPTION
01	01
02	02
03	03
04	04
05	05
06	06
07	07
08	08
09	09
10	10
11	11
12	12
13	13
14	14
15	15
16	16
17	17
18	18
19	19
20	20
21	21
22	22
23	23
24	24
25	25
26	26
27	27
28	28
29	29
30	30
31	31



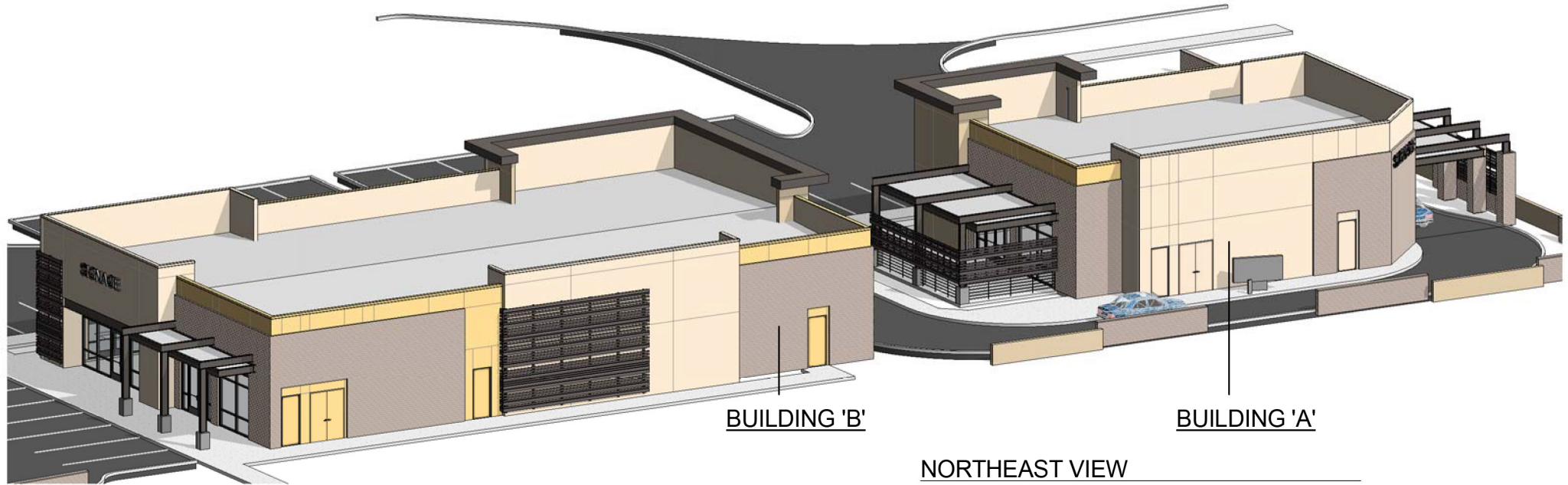
SHEET  
A-3  
OF



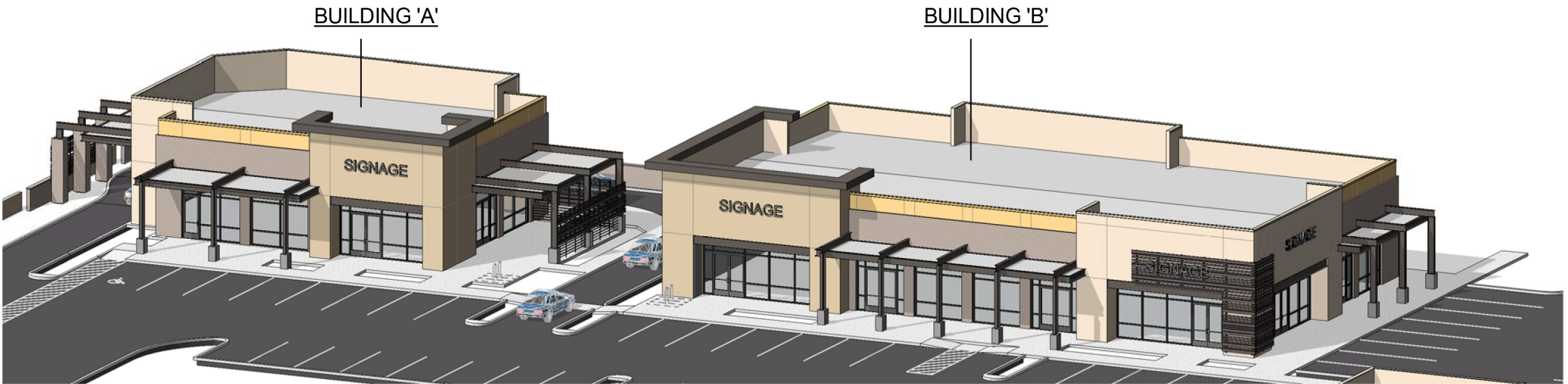
REVISED

BUILDING 'A' - COFFEE SHOP (PHASE I)

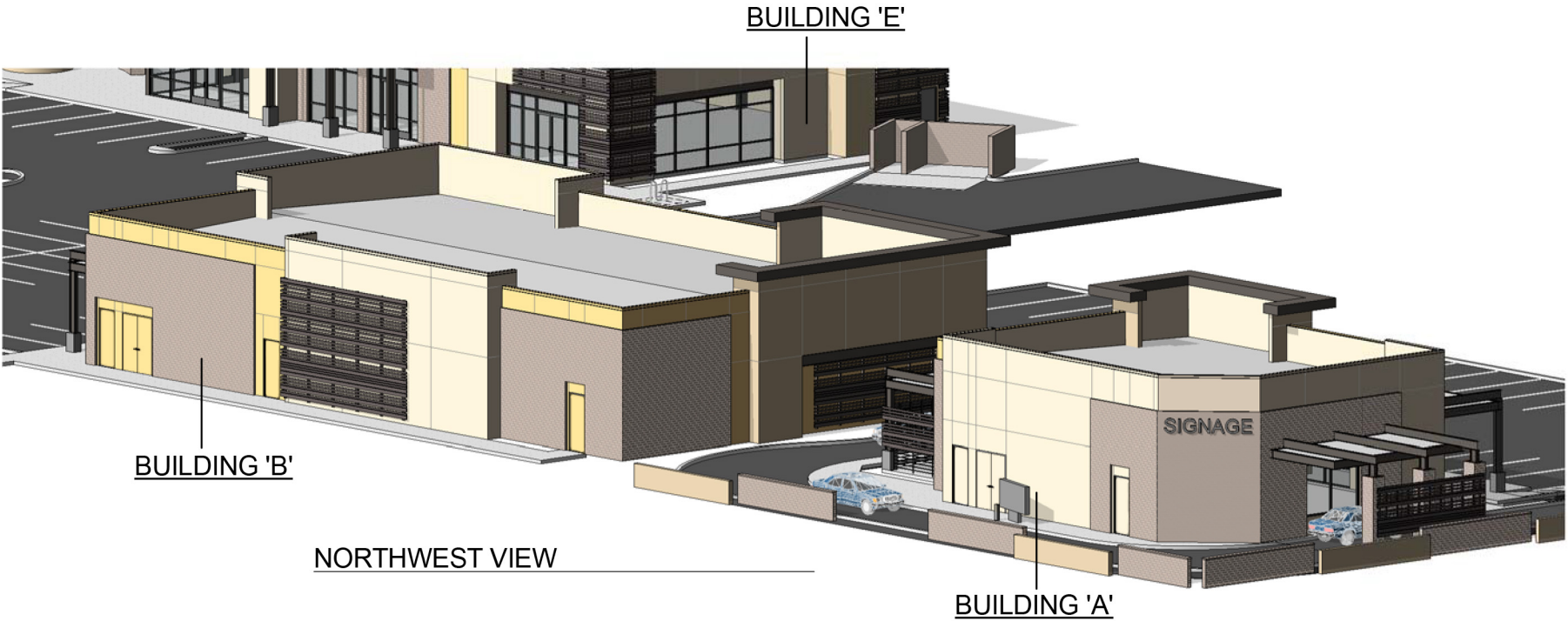
BUILDING 'B' (PHASE I)



NORTHEAST VIEW



SOUTHEAST VIEW



NORTHWEST VIEW

COLOR LEGEND

- 1 STUCCO - MAIN BODY:  
MFR: DUNN EDWARDS  
COLOR: DE6208 "DESERT SUEDE"
- 2 STUCCO - ACCENT:  
MFR: DUNN EDWARDS  
COLOR: DE6201 "EGYPTIAN SAND"
- 3 STUCCO - ACCENT:  
MFR: DUNN EDWARDS  
COLOR: DE5560 "WHEAT BREAD"
- 4 METAL COLUMNS/BEAMS:  
MFR: DUNN EDWARDS  
COLOR: DE756 "WEATHERED BROWN"
- 5 COMPOSITE WOOD DECKING:  
MFR: NEW TECH WOOD  
PRODUCT: SOLID BOARD V801  
COLOR: BRAZILIAN PE
- 6 CMU SLUMP BLOCK VENEER:  
MFR: SUPERLITE  
PRODUCT: 4"X4"X16" SLUMP BLOCK  
COLOR: CHOCOLATE
- 7 ALUMINUM STOREFRONT:  
MFR: KAWNEER  
PRODUCT: ALUMINUM STOREFRONT  
IV CLEAR GLAZING  
COLOR: DARK BRONZE NO. 40

A SITE DEVELOPMENT  
FOR  
HHB GROUP  
N.E. CORNER VAL VISTA & RIGGS RD GILBERT, AZ

associatedarchitects, inc.  
architecture • construction management • planning  
p 480-964-8451  
6 East Palo Verde Street, Suite 1 • Gilbert • Arizona • 85296  
www.associated-architects.com

DATE	DESCRIPTION	BY	DATE
12/28/17	15621	BRIAN THOMAS JOHNS	12/28/17

BUILDING 'A' & 'B' 3D ISOMETRICS

15621  
BRIAN THOMAS JOHNS  
Date Signed: 12/28/17  
ARIZONA, U.S.A.  
EXPIRES: 6/30/18

SHEET  
A-3.1  
OF



REVISED

BUILDING 'C' (PHASE II)



NORTH ELEVATION - BUILDING C

1/8" = 1'-0"



SOUTH ELEVATION - BUILDING C

1/8" = 1'-0"



EAST ELEVATION - BUILDING C

1/8" = 1'-0"



WEST ELEVATION - BUILDING C

1/8" = 1'-0"



NORTHWEST VIEW



NORTHEAST VIEW



SOUTHEAST VIEW

COLOR LEGEND

- 1 STUCCO - MAIN BODY:  
MFR: DUNN EDWARDS  
COLOR: DE6206 "DESERT SUDE"
- 2 STUCCO - ACCENT:  
MFR: DUNN EDWARDS  
COLOR: DE6201 "EGYPTIAN SAND"
- 3 STUCCO - ACCENT:  
MFR: DUNN EDWARDS  
COLOR: DE5560 "WHEAT BREAD"
- 4 METAL COLUMNS/BEAMS:  
MFR: DUNN EDWARDS  
COLOR: DEC756 "WEATHERED BROWN"
- 5 COMPOSITE WOOD DECKING:  
MFR: NEW TECH WOOD  
PRODUCT: SOLID BOARD US01  
COLOR: BRAZILIAN IPE
- 6 CMU SLUMP BLOCK VENEER:  
MFR: SUPPLITE  
PRODUCT: 4"X4"X16" SLUMP BLOCK  
COLOR: CHOCOLATE
- 7 ALUMINUM STOREFRONT:  
MFR: KANNER  
PRODUCT: ALUMINUM STOREFRONT  
V/CLEAR GLAZING  
COLOR: DARK BRONZE NO. 40

A SITE DEVELOPMENT  
FOR  
HHB GROUP  
N.E. CORNER VAL VISTA & RIGGS RD GILBERT, AZ

associatedarchitects, inc.  
architecture • construction management • planning  
www.associated-architects.com  
p 480-964-8451  
6 East Palo Verde Street, Suite 1 • Gilbert • Arizona • 85296

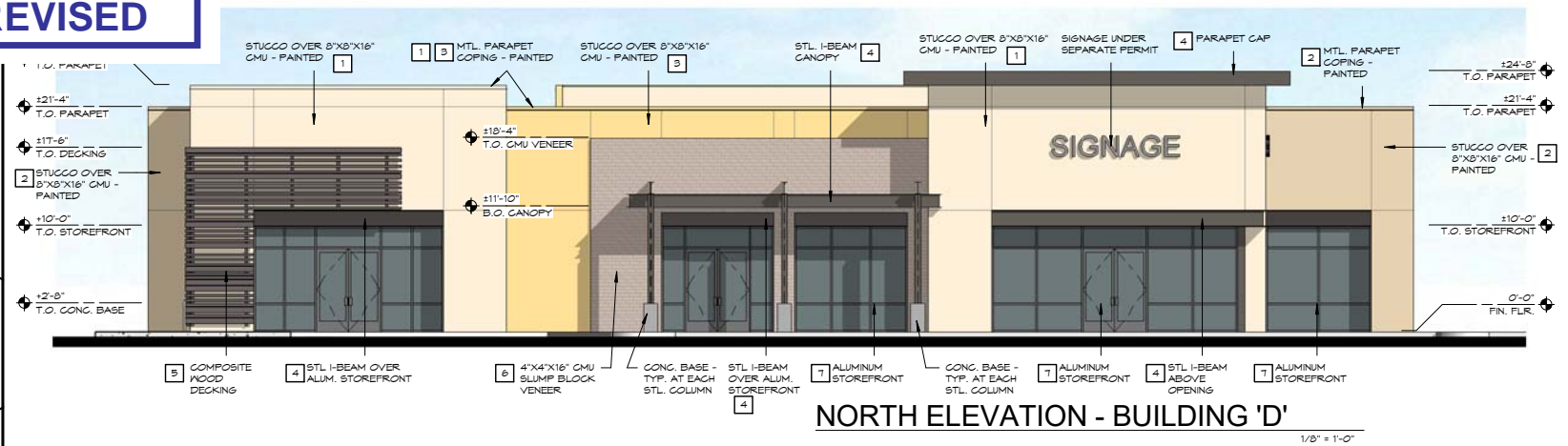
DATE	REVISION
01	BTJ
02	BTJ
03	BTJ
04	BTJ
05	BTJ
06	BTJ
07	BTJ
08	BTJ
09	BTJ
10	BTJ
11	BTJ
12	BTJ
13	BTJ
14	BTJ
15	BTJ
16	BTJ
17	BTJ
18	BTJ
19	BTJ
20	BTJ
21	BTJ
22	BTJ
23	BTJ
24	BTJ
25	BTJ
26	BTJ
27	BTJ
28	BTJ
29	BTJ
30	BTJ





REVISED

BUILDING 'D' (PHASE II)



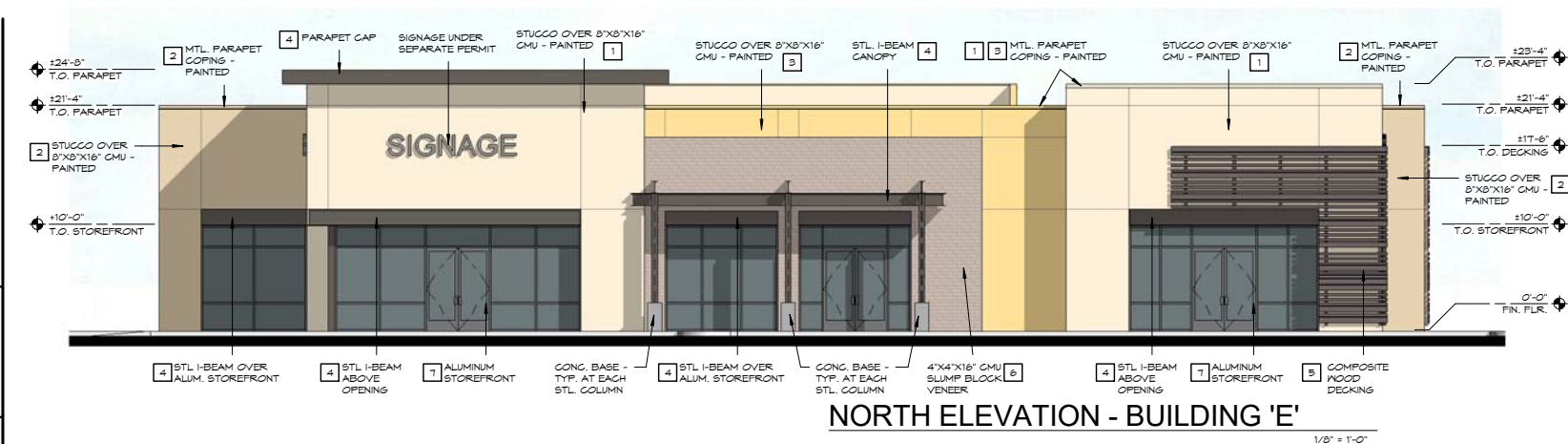
NORTH ELEVATION - BUILDING 'D'

1/8" = 1'-0"



SOUTH ELEVATION - BUILDING 'D'

1/8" = 1'-0"



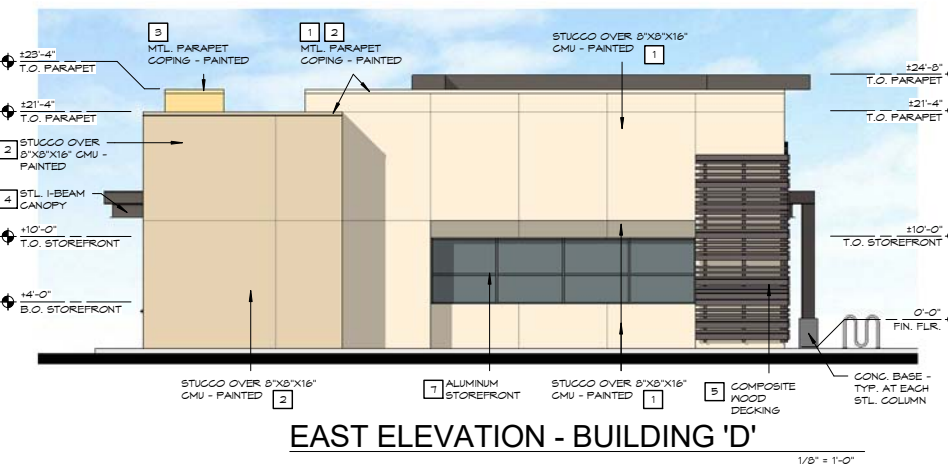
NORTH ELEVATION - BUILDING 'E'

1/8" = 1'-0"



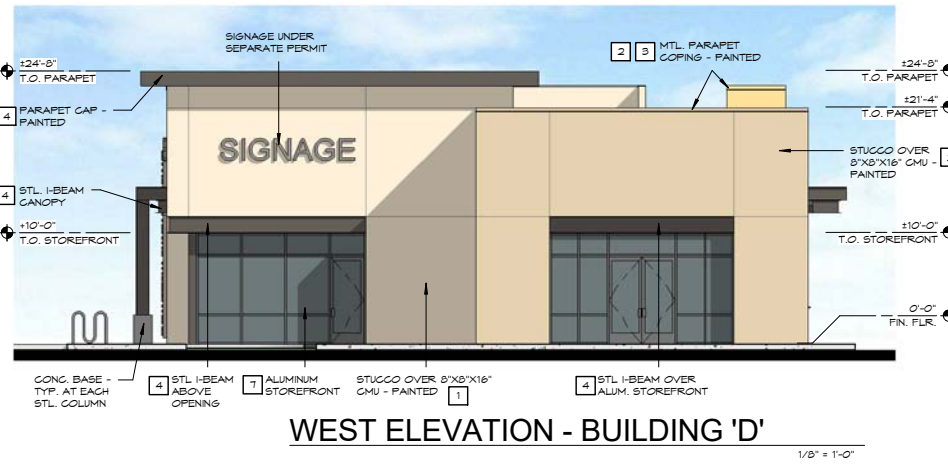
SOUTH ELEVATION - BUILDING 'E'

1/8" = 1'-0"



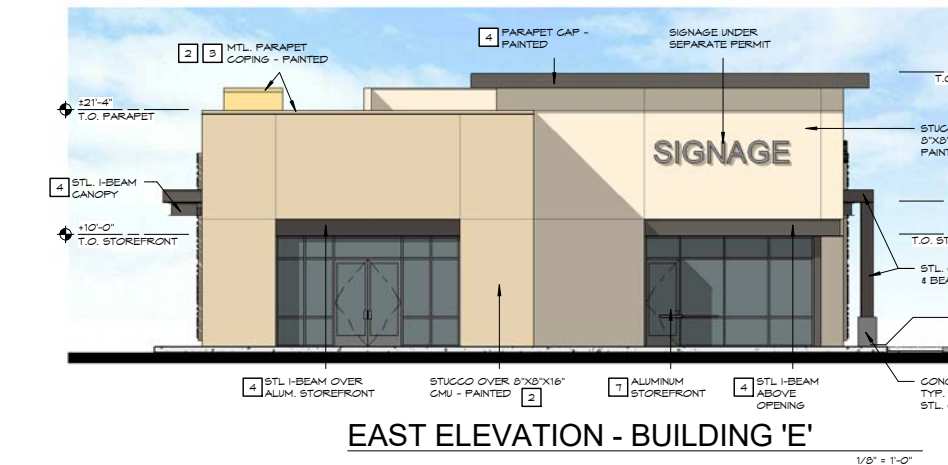
EAST ELEVATION - BUILDING 'D'

1/8" = 1'-0"



WEST ELEVATION - BUILDING 'D'

1/8" = 1'-0"



EAST ELEVATION - BUILDING 'E'

1/8" = 1'-0"



WEST ELEVATION - BUILDING 'E'

1/8" = 1'-0"

COLOR LEGEND

- STUCCO - MAIN BODY:**
- 1 MFG: DUNN EDWARDS  
COLOR: DE206 'DESERT SUEDE'
- STUCCO - ACCENT:**
- 2 MFG: DUNN EDWARDS  
COLOR: DE201 'EGYPTIAN SAND'
- 3 MFG: DUNN EDWARDS  
COLOR: DE360 'WHEAT BREAD'
- METAL COLUMNS/BEAMS:**
- 4 MFG: DUNN EDWARDS  
COLOR: DE206 'DESERT SUEDE'
- COMPOSITE WOOD DECKING:**
- 5 MFG: NEX TECH WOOD  
PRODUCT: SOLID BOARD US01  
COLOR: BRAZILIAN IPE
- CMU SLUMP BLOCK VENEER:**
- 6 MFG: SUPERLITE  
PRODUCT: 4"x4"x16" SLUMP BLOCK  
COLOR: CHOCOLATE
- ALUMINUM STOREFRONT**
- 7 MFG: KAYNEER  
PRODUCT: ALUMINUM STOREFRONT  
W/CLEAR GLAZING  
COLOR: DARK BRONZE NO. 40

A SITE DEVELOPMENT  
FOR  
HHB GROUP

associatedarchitects, inc.  
architecture • construction management • planning

p 480-964-8451  
6 East Palo Verde Street, Suite 1 • Gilbert • Arizona • 85296

BUILDING 'D' & 'E' ELEVATIONS

REGISTERED ARCHITECT  
BRIAN THOMAS JOHNS  
ARIZONA, U.S.A.  
EXPIRES 6/30/18

SHEET  
A-5  
OF



REVISED

## BUILDING 'D' (PHASE II)

BUILDING 'E' (PHASE II)



BUILDING 'C'

### NORTHWEST VIEW



### SOUTHWEST VIEW

BUILDING 'E'


BUILDING 'D'





### SOUTHWEST VIEW


BUILDING 'C'


### COLOR LEGEND


- 1 


MFGR: DUNN EDWARDS  
COLOR: DF6206 "DESERT SUIDE"
  - 2 

MFGR: DUNN EDWARDS  
COLOR: DF6207 "EGYPTIAN SAND"
  - 3 

MFGR: DUNN EDWARDS  
COLOR: DF5360 "WHEAT BREAD"
  - 4 

MFGR: DUNN EDWARDS  
COLOR: DFC756 "WEATHERED BROWN"
  - 5 

MFGR: NEW TECH WOOD  
PRODUCT: SOLID BOARD USOT  
COLOR: BRAZILIAN IFE
  - 6 

MFGR: SUPERLITE  
PRODUCT: 4"x4"x16" SLUMP BLOCK  
COLOR: CHOCOLATE
  - 7 

MFGR: KANNEER  
PRODUCT: ALUMINUM STOREFRONT  
W/CLAR GLAZING  
COLOR: DARK BRONZE NO. 40

# A SITE DEVELOPMENT FOR

## HHB GROUP

N.E. CORNER VAL VISTA & RIGGS RD GILBERT, AZ

**associatedarchitects<sup>INC.</sup>**  
architecture · construction management · planning

6 East Palo Verde Street, Suite 1 • Gilbert • Arizona • 85296

6 East Palo Ver



# L



SHEET

**A**

OF

A-5.1

OF

OF

COPYRIGHT © THESE DRAWINGS ARE THE PROPERTY OF ASSOCIATED ARCHITECTS INC. AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT BUILDING BEFORE PROCEEDING WITH THIS WORK





MATERIAL/ COLOR BOARD - TOWN OF GILBERT DESIGN REVIEW

1

STUCCO - MAIN BODY:

MFGR: DUNN EDWARDS  
COLOR: DE6206 "DESERT SUEDE"

2

STUCCO - ACCENT:

MFGR: DUNN EDWARDS  
COLOR: DE6207 "EGYPTIAN SAND"

3

STUCCO - ACCENT:

MFGR: DUNN EDWARDS  
COLOR: DE5360 "WHEAT BREAD"

4

METAL COLUMNS/BEAMS:

MFGR: DUNN EDWARDS  
COLOR: DEC756 "WEATHERED BROWN"

5

COMPOSITE WOOD DECKING:

MFGR: NEW TECH WOOD  
PRODUCT: SOLID BOARD US07  
COLOR: BRAZILIAN IPE



6

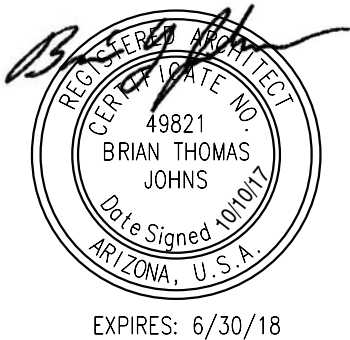
CMU SLUMP BLOCK VENEER:

MFGR: SUPERLITE  
PRODUCT: 4"X4"X16" SLUMP BLOCK  
COLOR: MONTEREY STONE

7

ALUMINIUM STOREFRONT

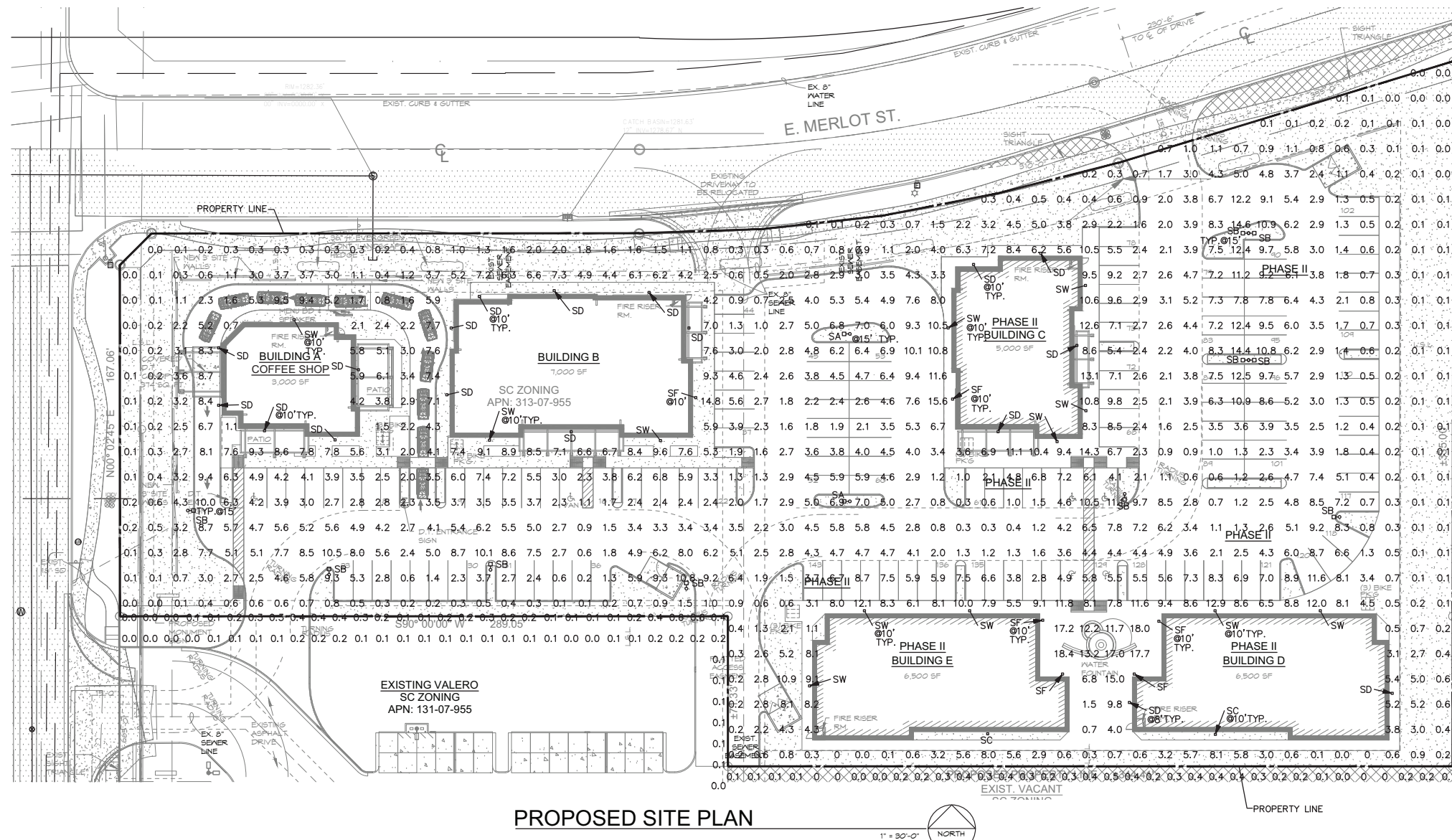
MFGR: KAWNEER  
PRODUCT: ALUMINIUM STOREFRONT  
W/CLEAR GLAZING  
COLOR: DARK BRONZE NO. 40



EXPIRES: 6/30/18

APPROVED BY:	A SITE DEVELOPMENT HHB GROUP N.E. CORNER VAL VISTA & RIGGS RD GILBERT, AZ	
DATE: 10/10/17		SCALE: 3/16" = 1'-0"

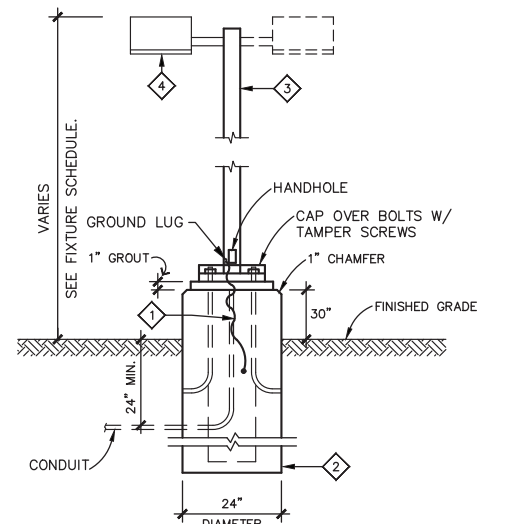




**GENERAL NOTES:**

- A. ALL EXTERIOR LIGHT FIXTURES TO COMPLY WITH LOCAL NIGHT SKY ORDINANCE.
- B. ALL EXTERIOR LIGHTING AND SIGNAGE TO BE FED WITH #10 CU. U.N.O.
- C. ALL EXTERIOR ELECTRICAL EQUIPMENT TO BE NEMA-3R RATED.
- D. ALL FIXTURES INSTALLED OUTDOORS SHALL BE RATED FOR DAMP/WET LOCATIONS AS REQUIRED. THE CONTRACTOR SHALL COORDINATE DAMP/WET LOCATION RATING PER NEC ARTICLE 410.10(A). ALL INSTALLATIONS SHALL CONFORM TO NEC ARTICLE 410.10, ALL SUB ARTICLES.
- E. ALL PVC CONDUIT MUST HAVE A MINIMUM OF #12 CU. GROUND CONDUCTOR.
- F. ALL EXTERIOR LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WITH THE LIGHTING IS LOCATED.

<p style="text-align: center;"><i>GENERAL PHOTOMETRIC SCHEDULE</i></p>	
AVERAGE FOOTCANDLES	3.82
MAXIMUM FOOTCANDLES	18.4
MINIMUM FOOTCANDLES	0.0
MINIMUM TO MAXIMUM FC RATIO	0.00
MAXIMUM TO MINIMUM FC RATIO	4662.60
AVERAGE TO MINIMUM FC RATIO	969.65



## LIGHT POLE AND FIXTURE

**NOTE:** CONTRACTOR SHALL PROVIDE NEW POLE BASES WHERE INDICATED ON PLANS. LIGHTING FIXTURE POLE DETAILS AND DESCRIPTIONS ARE FOR ELECTRICAL REFERENCES ONLY. THE POLE AND BASE SHALL BE DESIGNED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF ARIZONA AND BE STAMPED AND SEALED ACCORDINGLY AS A DEFERRED SUBMITTAL.

**KEYED NOTES :** 

1. #4 BARE CU. CONDUCTOR, 20'-0" LONG, COILED CONTINUOUS WITHIN THE LIGHT POLE BASE.
2. CONCRETE BASE SEE STRUCTURAL DRAWINGS.
3. 4" SQUARE TO MATCH FIXTURE (100mph RATED)
4. SEE FIXTURE SCHEDULE FOR TYPE.

NOTE: LIGHT POLE SHALL BE NONE REFLECTIVE

*LUMINAIRE SCHEDULE*

LUMINAIRE SCHEDULE								
CALLOUT	SYMBOL	LAMP	MODEL	DESCRIPTION	BALLAST	MOUNTING	INPUT WATTS	VOLTS
SA	⬢	(64) LED	EATON – McGRAW-EDISON (FORMER COOPER LIGHTING) GLEON-AF-04-LED-E1-SMQ-8030	GALLEON AREA AND ROADWAY LUMINAIRE(4) 80 CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE V MEDIUM OPTICS	PULSE START	WALL	225	120V 1P 2W
SB		(64) LED	EATON – McGRAW-EDISON (FORMER COOPER LIGHTING) GLEON-AF-04-LED-E1-SL4-8030	GALLEON AREA AND ROADWAY LUMINAIRE(4) 80 CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS	PULSE START	WALL	225	120V 1P 2W
SC	⬢	(16) LED	EATON – McGRAW-EDISON (FORMER COOPER LIGHTING) GWC-AF-01-LED-E1-SL2-7030	GALLEON WALL LUMINAIRE(1) 70 CRI, 3000K, 1050mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE II SPILL LIGHT ELIMINATOR OPTICS	PULSE START	WALL	59	120V 1P 2W
SD	⬢	(16) LED	EATON – McGRAW-EDISON (FORMER COOPER LIGHTING) GWC-AF-01-LED-E1-T3-7030	GALLEON WALL LUMINAIRE(1) 70 CRI, 3000K, 1050mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE III OPTICS	PULSE START	WALL	59	120V 1P 2W
SF	⬢	(32) LED	EATON – McGRAW-EDISON (FORMER COOPER LIGHTING) GWC-AF-02-LED-E1-T4FT-7030	GALLEON WALL LUMINAIRE(2) 70 CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV FORWARD THROW OPTICS	PULSE START	WALL	113	120V 1P 2W
SW	⬢	(32) LED	EATON – McGRAW-EDISON (FORMER COOPER LIGHTING) GWC-AF-02-LED-E1-T4W-7030	GALLEON WALL LUMINAIRE(2) 70 CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV WIDE OPTICS	PULSE START	WALL	113	120V 1P 2W

**MAVEN  
ENGINEERING** Job #17RLG221  
Tel: (480) 303-0180  
Fax: (480) 302-7927  
8011 S Avenida del Yaqui  
Guadalupe, Arizona 85283

**Note: Any changes made to final bid documents due to field changes will be billed hourly to the contractor.**





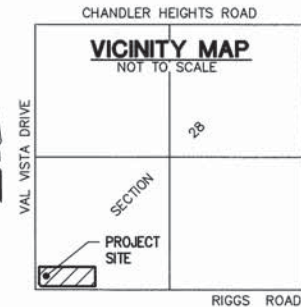


# PRELIMINARY GRADING & DRAINAGE PLAN

## RIGGS & VAL VISTA RETAIL

### GILBERT, ARIZONA

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 6 EAST, OF THE  
GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



CHANDLER HEIGHTS ROAD  
VAL VISTA DRIVE  
RIGGS ROAD  
GREENFIELD ROAD ALIGNMENT

**HILGARTWILSON**  
ENGINEER | PLAN | SURVEY | MANAGE  
2141 E. HIGHLAND AVE., STE. 250  
PHOENIX, AZ 85016  
P: 602.490.0535 / F: 602.368.2436  
www.hilgartwilson.com



**OWNER**  
HHB GROUP  
1425 W. ELLIOT RD., STE 104  
GILBERT, AZ 85233  
PH: (480) 699-0195  
CONTACT: MARISSA EICK

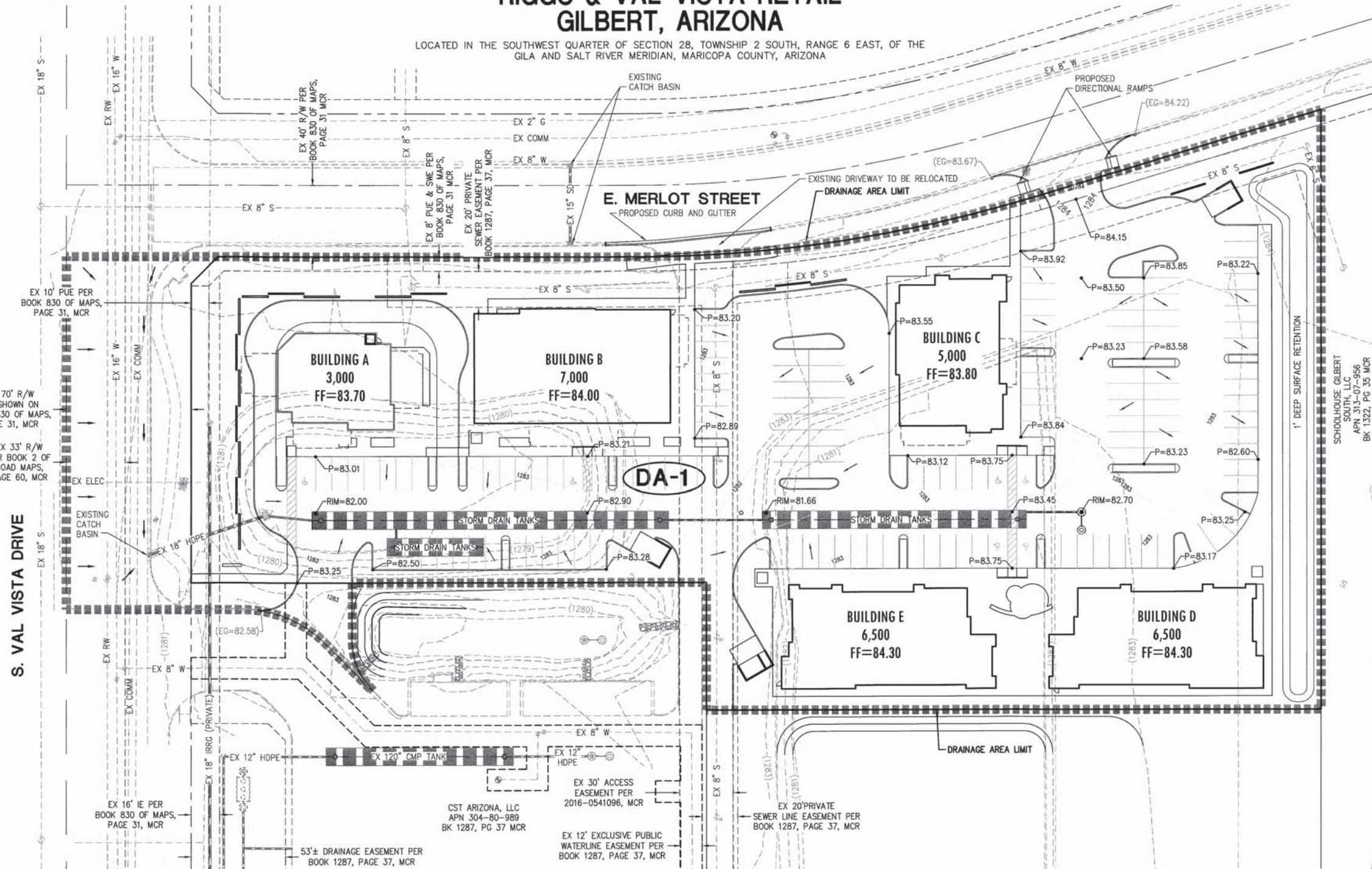
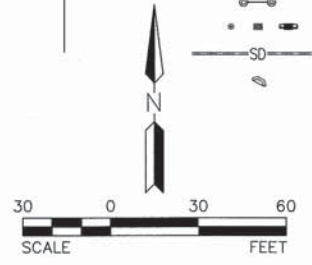
**ARCHITECT**  
ASSOCIATED ARCHITECTS  
6 EAST PALO VERDE ST., STE 1  
GILBERT, AZ 85296  
PHONE: (480) 964-8451  
CONTACT: BRIAN JOHNS

**ENGINEER**  
HILGARTWILSON  
2141 E. HIGHLAND AVENUE, STE#250  
PHOENIX, ARIZONA 85016  
PHONE: (602) 490-0535  
FAX: (602) 368-2436  
CONTACT: SCOTT O'DAY

**BASIS OF BEARING**  
BASIS OF BEARING IS N89°39'50"E ALONG THE  
SOUTH LINE OF THE SOUTHWEST QUARTER OF  
SECTION 28, TOWNSHIP 2 SOUTH, RANGE 6  
EAST OF THE GILA AND SALT RIVER MERIDIAN,  
MARICOPA COUNTY, ARIZONA, AS SHOWN ON  
THE FINAL PLAT FOR EVANS RANCH AS  
RECORDED IN BOOK 830, PAGE 31, MARICOPA  
COUNTY RECORDS, ARIZONA.

**BENCHMARK**  
BENCHMARK IS A FOUND 3-1/4" ARIZONA  
DEPARTMENT OF TRANSPORTATION P&M  
GEODETIC SURVEY BRASS CAP, STAMPED "BIG  
MAX" DATED 1975  
NGS POINT "BIG MAX DU2130"  
ELEVATION: 1513.19'  
DATUM NAVD88  
LATITUDE: 33°12'16.439670  
LONGITUDE: 111°43'09.687140"

- LEGEND**
- FF=43.00
  - PROPERTY LINE
  - CENTER LINE
  - EASEMENT LINE
  - FINISH FLOOR ELEV
  - FLOW ARROWS
  - EX. FLOW ARROWS
  - EX. CONTOURS
  - PROP. CONTOUR
  - DRAINAGE AREA
  - DRAINAGE AREA LABEL
  - RETENTION BASIN LABEL
  - DRYWELL
  - CATCH BASIN(S)
  - STORM DRAIN PIPE
  - HEADWALL



**FLOOD PLAIN DESIGNATION**  
THE SUBJECT PROPERTY LIES WITHIN SHADED ZONE "X"  
WITH A DEFINITION OF: AREAS OF 0.2% ANNUAL  
CHANCE FLOOD; AREA OF 1% ANNUAL CHANCE FLOOD  
WITH AVERAGE DEPTHS OF LESS THAN 2 FOOT OR  
WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE;  
AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL  
CHANCE FLOOD. DESIGNATION DETERMINED BY FEMA  
FLOOD ZONE MAP 04013C3110M, PANEL NUMBER 3110  
OF 4425, EFFECTIVE DATE NOVEMBER 4, 2015.

**RETENTION CALCULATIONS**  
 $VR = C(P/12)A$   
WHERE:  
C = 0.81  
P = 3.0 IN.  
A = 162,922 S.F.  
THEREFORE:  
VR = 32,993 C.F.  
VP = 34,000 C.F.

RIGGS & VAL VISTA RETAIL		PRELIMINARY GRADING AND DRAINAGE PLAN	
SEC MERLOT STREET & VAL VISTA ROAD		GILBERT, ARIZONA	
HILGARTWILSON	PROJ. NO.: 1642.03	DWG. NO.	PGD-1
DATE: OCT 2017	SCALE: 1"=30'	DRAWN: NH	DESIGNED: SO
			APPROVED: SO
			SHT. 1 OF 1

Copyright, Hilgartwilson, 2017. This plan document set is the sole property of Hilgartwilson. No alterations to these plans, other than adding as-built information, are allowed by anyone other than authorized Hilgartwilson employees.

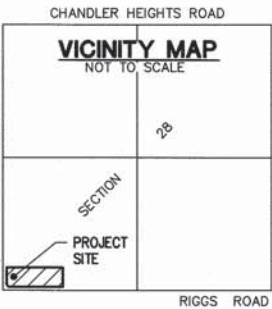


# PRELIMINARY UTILITY PLAN

## RIGGS & VAL VISTA RETAIL

### GILBERT, ARIZONA

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 6 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



#### OWNER

HBB GROUP  
1425 W. ELLIOT RD, STE 104  
GILBERT, AZ 85233  
PH: (480) 699-0195  
CONTACT: MARISSA EICK

#### ARCHITECT

ASSOCIATED ARCHITECTS  
6 EAST PALO VERDE ST., STE 1  
GILBERT, AZ 85296  
PHONE: (480) 964-8451  
CONTACT: BRIAN JOHNS

#### ENGINEER

HILGARTWILSON  
2141 E. HIGHLAND AVENUE STE#250  
PHOENIX, ARIZONA 85016  
PHONE: (602) 490-0535  
FAX: (602) 368-2436  
CONTACT: SCOTT ODYA

#### BASIS OF BEARING

BASIS OF BEARING IS N89°39'50"E ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN ON THE FINAL PLAT FOR EVANS RANCH AS RECORDED IN BOOK 830, PAGE 31, MARICOPA COUNTY RECORDS, ARIZONA.

#### BENCHMARK

BENCHMARK IS A FOUND 3-1/4" ARIZONA DEPARTMENT OF TRANSPORTATION P&M GEODETIC SURVEY BRASS CAP, STAMPED "BIG MAX" DATED 1975  
NGS POINT "BIG MAX DU2130"  
ELEVATION: 1513.19'  
DATUM NAVD88  
LATITUDE: 33°12'16.439670  
LONGITUDE: 111°43'09.687140"

**HILGARTWILSON**  
ENGINEER | PLAN | SURVEY | MANAGE  
2141 E. HIGHLAND AVE., STE. 250  
PHOENIX, AZ 85016  
www.hilgartwilson.com



**RIGGS & VAL VISTA RETAIL**

SEC MERLOT STREET & VAL VISTA ROAD  
GILBERT, ARIZONA

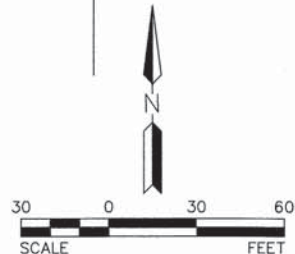
PRELIMINARY UTILITY PLAN

HILGARTWILSON	PROJ. NO.: 1642.03	DATE: OCT 2017	SCALE: 1"=30'	DRAWN: MH	DESIGNED: SO	APPROVED: SO
					DWG. NO.	PUP-1
					SHT. 1 OF 1	



#### LEGEND

- PROPERTY LINE
- RIGHT OF WAY
- CENTER LINE
- WATER LINE EASEMENT
- 6"S 6" SEWER LINE
- 8"W 8" WATER LINE
- 6"FL 6" FIRE LINE
- 2"W 2" WATER LINE
- FIRE HYDRANT (FH)
- WATER VALVE
- WATER METER
- BACKFLOW PREVENTER (BFP)
- SEWER MANHOLE (MH)



#### FLOOD PLAIN DESIGNATION

THE SUBJECT PROPERTY LIES WITHIN SHADED ZONE "X" WITH A DEFINITION OF: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREA OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 2 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. DESIGNATION DETERMINED BY FEMA FLOOD ZONE MAP 04013C3110M, PANEL NUMBER 3110 OF 4425, EFFECTIVE DATE NOVEMBER 4, 2015.

Copyright, Hilgartwilson 2017. This plan document set is the sole property of Hilgartwilson. No alterations to these plans, other than adding "as-built" information, are allowed by anyone other than authorized Hilgartwilson employees.